

220200-R-E-C001

26 June 2012

Jennian Homes Rotorua Ltd
P O Box 847
TAURANGA 3140

Attention: Anthony Timmer



Dear Anthony

RE: 15 HAMON PLACE - FOUNDATION BEARING CAPACITY

Further to your instruction we have considered the Opus Laboratory test results from the above site. We understand that the above site must be confirmed to meet the minimum requirements of NZS3604:2011 prior to Council issuing a building consent for the proposed dwelling. Further to this we can comment as follows:

1. MTEC Consultants Ltd under separate cover has previously provided a statement of professional opinion that the subject site is suitable for building by way of a Geotechnical Completion Report completed as part of the underlying subdivision.
2. Scala penetrometer and auger borehole results have been supplied, prepared by Opus Laboratories, being a reputable soil testing laboratory.
3. Council has indicated that a building consent may be issued upon confirmation by an engineer that the site meets the minimum requirements of NZS3604:2011, therefore broader site suitability issues are beyond the scope of this letter.

As such we have considered the test results provided from Opus Laboratories and provide the following commentary:

1. The scala penetrometers test results do not comply with the soil test confirmation requirements of NZS3604:2011.
2. The boreholes undertaken by Opus International Consultants do not indicate any obvious unsuitable material on the site.
3. We have interpreted the test results for the site along with our previous experience on the site and considered the effect of the noted silt content within the subsoil and published information for comparison between bearing capacity and scala penetrometer test results.

Accordingly, whilst the test results do not immediately comply with the requirements of NZS3604:2011, we are able to conclude that it is our professional opinion that the ground conditions on the site do comply with NZS3604:2011 requirements in terms of bearing capacity and therefore the site is suitable for foundation design and construction in accordance with NZS3604:2011.

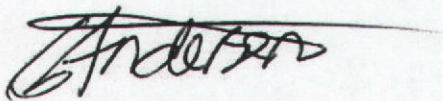
220200-R-E-C001-CA-Report



Document Number: **RDC-286532**
Date Registered: **31/7/2012**

Opus Laboratory test results are attached for completeness. We trust this is the information that you require. If you have any further queries please do not hesitate to contact the undersigned.

Yours faithfully
MTEC Consultants Ltd

A handwritten signature in black ink, appearing to read 'Chris Andersen', with a long horizontal flourish extending to the right.

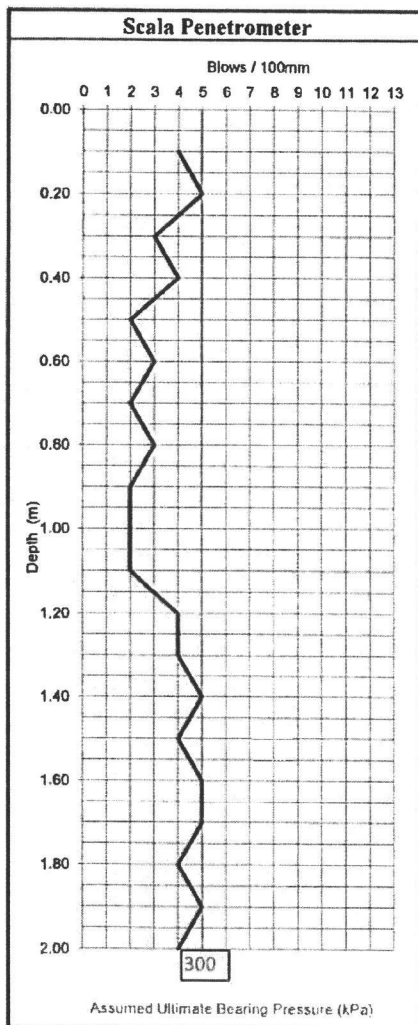
Chris Andersen
BE(Civil), MIPENZ, CPEng

**AUGER / SCALA PENETROMETER
TEST REPORT**

Project : House Site, Investigation
Location : Lot 7, Hamon Place, Rotorua
Client : Smith & Geddes Trust
Contractor : Unknown
Test number : 1
Shear vane number : N/A
Shear vane correction : N/A
Water level : Nil
Reduced level : Approx 1m above street level



Project No : 289868
Lab Ref No : 12/201
Client Ref No :



Test Results		
Depth (m)	Shear Strength (kPa)	Soil Description
0.20		Organic Topsoil
0.60		Medium to fine silty SAND, loose to medium dense, moist, light brown.
0.70		Silty SAND, loose, moist, dark brown/black.
1.20		SILT, with some fine sand, firm, slightly plastic, moist, orange/brown.
1.50		Medium pumiceous SAND, medium dense, moist, light brown.
2.00		Fine pumiceous GRAVEL, medium dense, moist, light brown.
		End of hole @ 2m

Test Methods

Determination of Penetration Resistance of a Soil, NZS 4402 : 1988, Test 6.5.2
Factual Report Only
Assumed Ultimate Bearing Pressure from NZS 3604: 2011 - Section 3.3.7

Field Descriptions of Soils and Rocks by
NZ Geotechnical Society Dec 2005
Inferred CBR values are not IANZ accredited

Date tested : 16/05/12
Date reported : 17/05/12

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Approved

Designation : Laboratory Manager
Date : 17/05/12

PF-LAB-0001 (8/12/2010)

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Rotorua Laboratory
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20 Te Ngae Road
PO Box 1245, Rotorua 3040, New Zealand

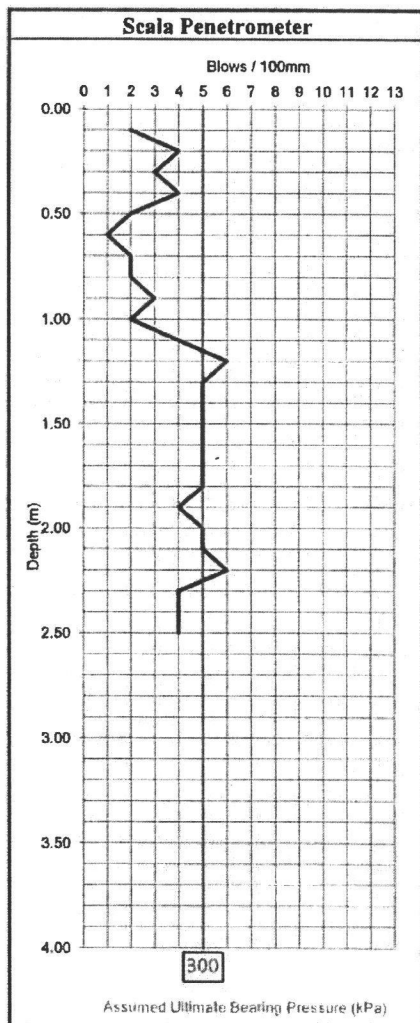
Telephone +64 7 343 1440
Facsimile +64 7 343 1441
Website www.opus.co.nz

AUGER / SCALA PENETROMETER TEST REPORT

Project : House Site, Investigation
 Location : Lot 7, Hamon Place, Rotorua
 Client : Smith and Geddes Trust
 Contractor : Unknown
 Test number : 2
 Shear vane number : NA
 Shear vane correction : NA
 Water level (m): Nil
 Reduced level (m): Approx 1.8m above street level



Project No : 289868
 Lab Ref No : 12/201
 Client Ref No :



Test Results		
Depth (m)	Shear Strength (kPa)	Soil Description
		Topsoil
0.30		
0.50		Fine SAND, moist, medium dense, light brown.
		Fine sandy SILT, soft, moist, orange/brown.
1.00		
1.20		Fine to medium pumiceous SAND, medium dense, moist, orange/brown.
1.50		Medium to coarse pumiceous SAND, medium dense, moist, orange/brown.
		Fine pumiceous GRAVEL, medium dense, moist, light brown
		Wetter & coarser with depth.
2.50		
		End of hole @ 2.5m

Test Methods

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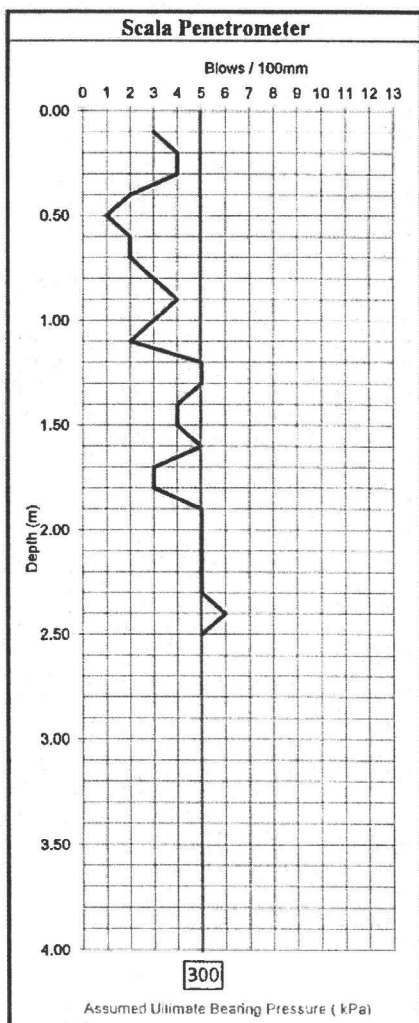
Telephone +64 7 343 1440
 Facsimile +64 7 343 1441
 Website www.opus.co.nz

AUGER / SCALA PENETROMETER TEST REPORT

Project : House Site, Investigation
 Location : Lot 7, Hamon Place, Rotorua
 Client : Smith and Geddes Trust
 Contractor : Unknown
 Test number : 3
 Shear vane number : NA
 Shear vane correction : NA
 Water level (m): Nil
 Reduced level (m): Approx 1.8m above street level



Project No : 289868
 Lab Ref No : 12/201
 Client Ref No :



Test Results		
Depth (m)	Shear Strength (kPa)	Soil Description
0.20		Topsoil
0.90		Sandy SILT (ash), loose to medium dense, moist, orange/brown.
1.30		Medium to coarse pumiceous SAND, moist, loose to medium dense, orange/brown.
2.50		Fine pumiceous sandy GRAVEL, moist, medium dense, orange/brown. Wetter & coarser with depth
		End of hole @ 2.5m

Test Methods

Determination of Penetration Resistance of a Soil, NZS 4402 : 1988, Test 6.5.2
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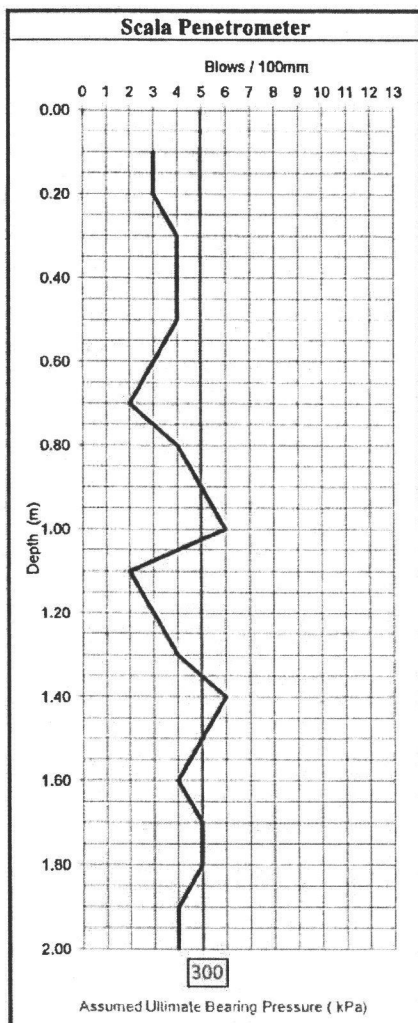
Telephone +64 7 343 1440
 Facsimile +64 7 343 1441
 Website www.opus.co.nz

AUGER / SCALA PENETROMETER TEST REPORT

Project : House Site, Investigation
Location : Lot 7, Hamon Place, Rotorua
Client : Smith & Geddes Trust
Contractor : Unknown
Test number : 4
Shear vane number : N/A
Shear vane correction : N/A
Water level : Nil
Reduced level : Approx 1m above street level



Project No : 289868
Lab Ref No : 12/201
Client Ref No :



Test Results		
Depth (m)	Shear Strength (kPa)	Soil Description
0.25		Organic Topsoil.
0.90		Mixed topsoil & silty fine SAND, medium dense, moist, brown.
1.10		Medium to coarse pumice SAND, medium dense, moist, light brown.
1.30		Medium to coarse pumiceous SILT & SAND, medium dense, moist to wet, orange/brown.
1.50		Medium to coarse pumice SAND, medium dense, moist, light brown.
2.00		Fine to medium pumiceous GRAVEL, moist to wet, medium dense, light orange/brown.
		End of hole @ 2m.

Test Methods

Determination of Penetration Resistance of a Soil, NZS 4402 : 1988, Test 6.5.2
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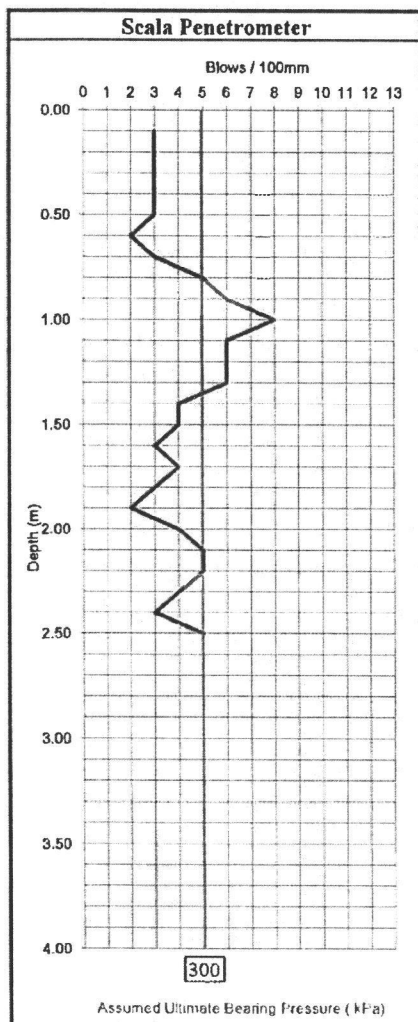
Telephone +64 7 343 1440
Facsimile +64 7 343 1441
Website www.opus.co.nz

**AUGER / SCALA PENETROMETER
TEST REPORT**

Project : House Site, Investigation
Location : Lot 7, Hamon Place, Rotorua
Client : Smith and Geddes Trust
Contractor : Unknown
Test number : 5
Shear vane number : NA
Shear vane correction : NA
Water level (m): Nil
Reduced level (m): Approx 1.5m above street level



Project No : 289868
Lab Ref No : 12/201
Client Ref No :



Test Results		
Depth (m)	Shear Strength (kPa)	
		Organic Topsoil.
0.35		
		Fine SAND, minor silt, moist, medium dense to loose, light brown.
0.70		
		Medium to coarse pumiceous SAND, medium dense, moist, light brown.
1.00		
		Fine pumiceous GRAVEL, medium dense, moist, light brown. Wetter & coarser with depth.
2.00		
		End of hole @ 2m

Test Methods

Determination of Penetration Resistance of a Soil, NZS 4402 : 1988, Test 6.5.2

Factual Report Only

Assumed Ultimate Bearing Pressure from NZS 3604:2011 - Section 3.3.7

Field Descriptions of Soils and Rocks by

NZ Geotechnical Society Dec 2005

Inferred CBR values are not IANZ accredited

Date tested : 16/05/12

Date reported : 17/05/12

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Designation : *Laboratory Manager*
Date : 17/05/12

PF-LAB-0614-18/12/2010)

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Website www.opus.co.nz

Cc: 'Mike Warren'; 'Joel Warren'; 'cegeddes@ihug.co.nz'
Subject: RE: BC 69386 15 Hamon Place

Hi All

Letter attached as discussed

Thanks and regards

Chris Andersen | Associate | Civil | Structural Engineer
Mobile 027 654 0607 Email chris.andersen@mtec.co.nz



Planners | Engineers | Surveyors

Level 1, 1268 Haupapa Street
PO Box 878, ROTORUA 3040
P 07 347 7840 F 07 347 6191 www.mtec.co.nz

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From: Chris Andersen [<mailto:chris.andersen@mtec.co.nz>]
Sent: Monday, 25 June 2012 4:56 p.m.
To: 'Anthony Timmer'
Cc: 'Mike Warren'; 'Joel Warren'; 'cegeddes@ihug.co.nz'
Subject: RE: BC 69386 15 Hamon Place

Hi Anthony

Sorry for the delay but I have now finished our analysis and dictated a letter saying the site can be built on in accordance with NZS 3604:2011. The letter will be typed in the morning so you will have it tomorrow and I will copy it to Darrell at RDC.

Thanks and regards

Chris Andersen | Associate | Civil | Structural Engineer
Mobile 027 654 0607 Email chris.andersen@mtec.co.nz



Planners | Engineers | Surveyors

Level 1, 1268 Haupapa Street
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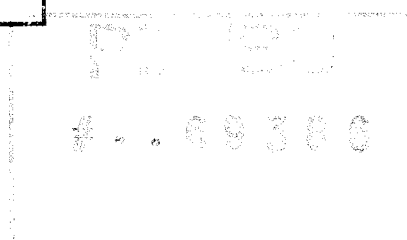
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17 May 2012

**COUNCIL
COPY**



Charlie
Smith and Geddes Trust
3/1406 Pukuatua Street
Rotorua



12/201

Dear Sir

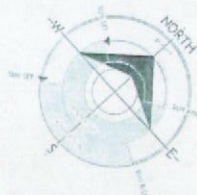
Lot 7, Hamon Place, Rotorua, Site Investigation.

● Please find attached the results of auger/scale investigation carried out at the above mentioned site on the 16 May 2012.

Yours faithfully

John O'Connor
Laboratory Manager

Page 1 of 7



LOT 7 DP 399109
700m²

WIND ZONE
EARTHQUAKE ZONE
CORROSION ZONE
SNOW LOADING
BUILDING FOOTPRINT:
SITE COVERAGE:

MEDIUM
0.5 kPa
210.66m²
30% (45% MAX)

ALL LEVELS ARE IN TERMS OF MOTURIKI DATUM

FIXTURES DISCHARGING TO
GULLY TRAPS

BATH
BATH
SHOWER
LAUNDRY TUB + WASH
KITCHEN SINK

FIXTURES DISCHARGING TO
VENTED DRAIN UNDER SLAB

WATER CLOSET
VENT SIZES
TERMINAL VENT
SANITARY DRAINAGE
SEWERAGE LINES
STORMWATER DRAINAGE
STORMWATER LINES
DOWNPIPES

DISCHARGE
PIPE SIZE

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DOWNPIPE CALCULATION

ROOF PLAN AREA = 246.05m²

ASSUME 1 DOWNPIPE PER 50m²

THEN:
MIN. NUMBER OF
DOWNPIPES REQUIRED = ROOF PLAN AREA (m²) / 50
= 246.05 / 50
= 4.9

THEREFORE:

5 DOWNPIPES WILL SATISFY THE ABOVE EQUATION

PLUMBING AND DRAINAGE TO NZBC G11/251. PIPE SIZES,
GRADES, AND LAYOUT, TO BE CONFIRMED BY A REGISTERED
PLUMBER/DRAINLAYER

Milestone Homes
the affordable way to a quality home

Client: SMITH & GEDDES TRUST
LOT 7 DP 399109
15 HAMON PLACE
ROTORUA

Drawing: SITE & DRAINAGE PLAN
SCALE 1:100 @ A1

Date: 27 APR 2012
Author: [Name]
Checked: [Name]
Approved: [Name]

Sheet: 2/18

12/201

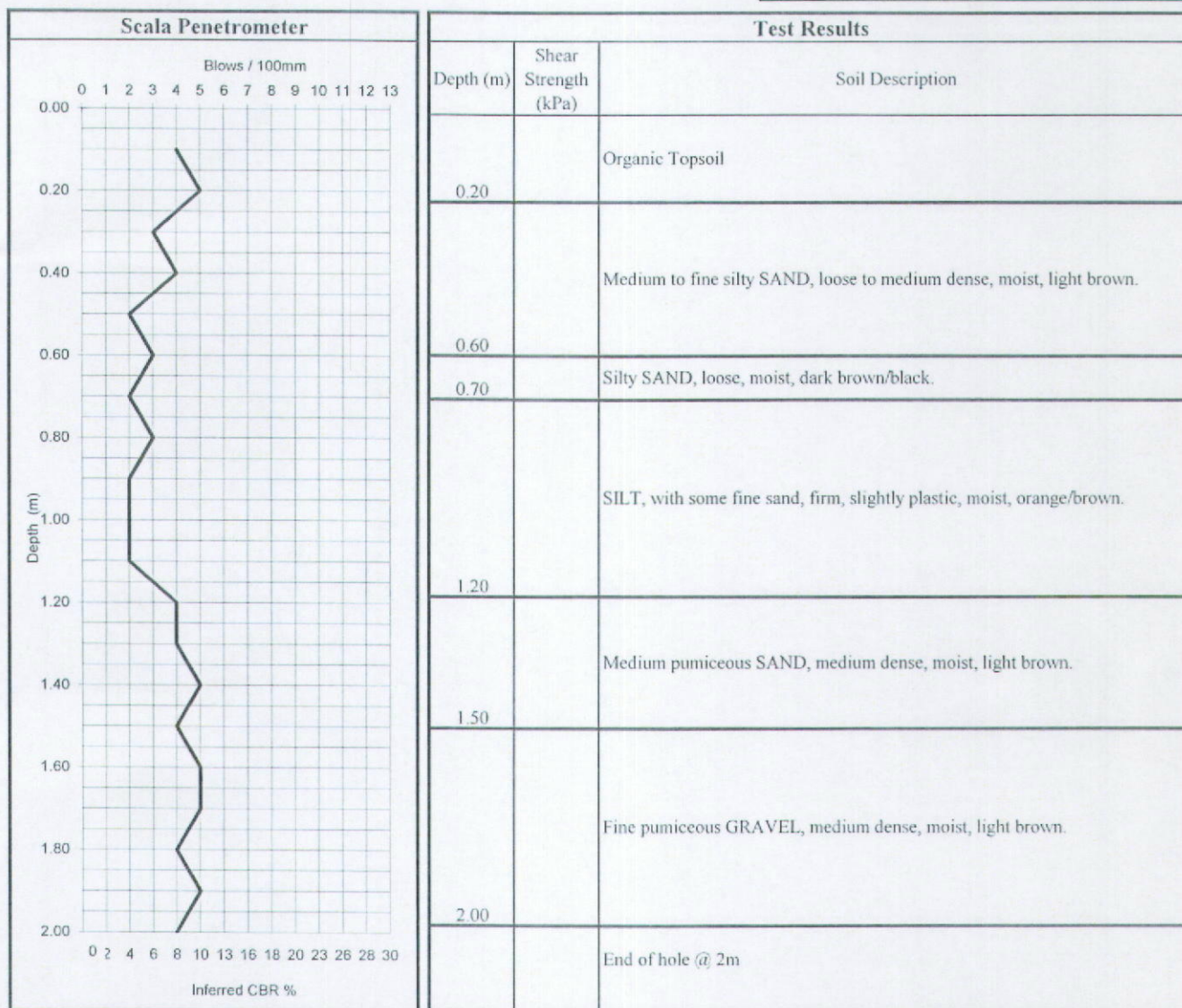
2 of 7

AUGER / SCALA PENETROMETER TEST REPORT



Project : House Site, Investigation
 Location : Lot 7, Hamon Place, Rotorua
 Client : Smith & Geddes Trust
 Contractor : Unknown
 Test number : 1
 Shear vane number : N/A
 Shear vane correction : N/A
 Water level : Nil
 Reduced level : Approx 1m above street level

Project No : 289868
 Lab Ref No : 12/201
 Client Ref No :



Test Methods	
Determination of Penetration Resistance of a Soil, NZS 4402 : 1988, Test 6.5.2	Field Descriptions of Soils and Rocks by
Shear Strength using a Hand Held Shear Vane: NZ Geotechnical Soc Inc 8/2001	NZ Geotechnical Society Dec 2005
Inferred CBR values taken from Austroads Pavement Design Manual 2004	Inferred CBR values are not IANZ accredited

Date tested : 16/05/12
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Designation : *Laboratory Manager*
 Date : 17/05/12

PF-LAB-060 (18/12/2010)

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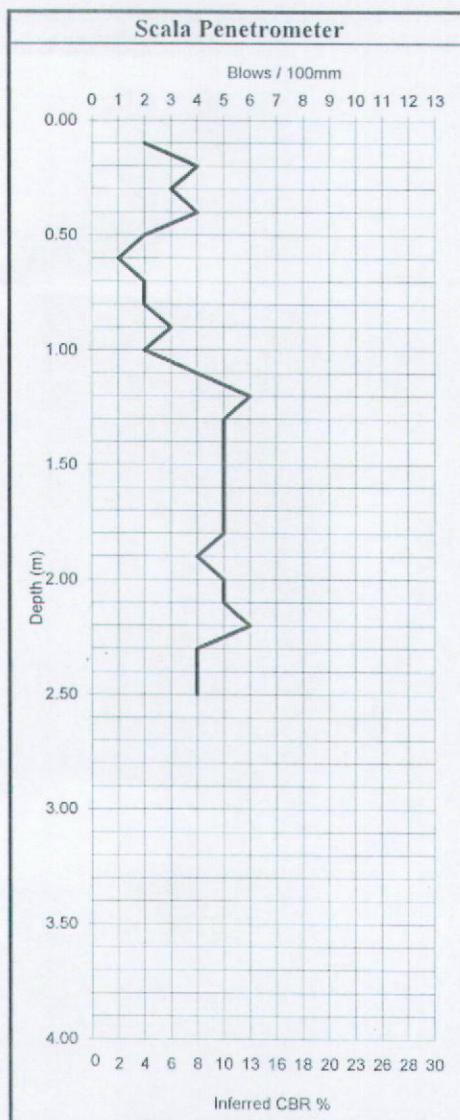
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 Facsimile +64 7 343 1441
 Website www.opus.co.nz

AUGER / SCALA PENETROMETER TEST REPORT



Project : House Site, Investigation
 Location : Lot 7, Hamon Place, Rotorua
 Client : Smith and Geddes Trust
 Contractor : Unknown
 Test number : 2
 Shear vane number : NA
 Shear vane correction : NA
 Water level (m): Nil
 Reduced level (m): Approx 1.8m above street level

Project No : 289868
 Lab Ref No : 12/201
 Client Ref No :



Test Results		
Depth (m)	Shear Strength (kPa)	Soil Description
0.30		Topsoil
0.50		Fine SAND, moist, medium dense, light brown.
1.00		Fine sandy SILT, soft, moist, orange/brown.
1.20		Fine to medium pumiceous SAND, medium dense, moist, orange/brown.
1.50		Medium to coarse pumiceous SAND, medium dense, moist, orange/brown.
2.50		Fine pumiceous GRAVEL, medium dense, moist, light brown Wetter & coarser with depth.
		End of hole @ 2.5m

Test Methods

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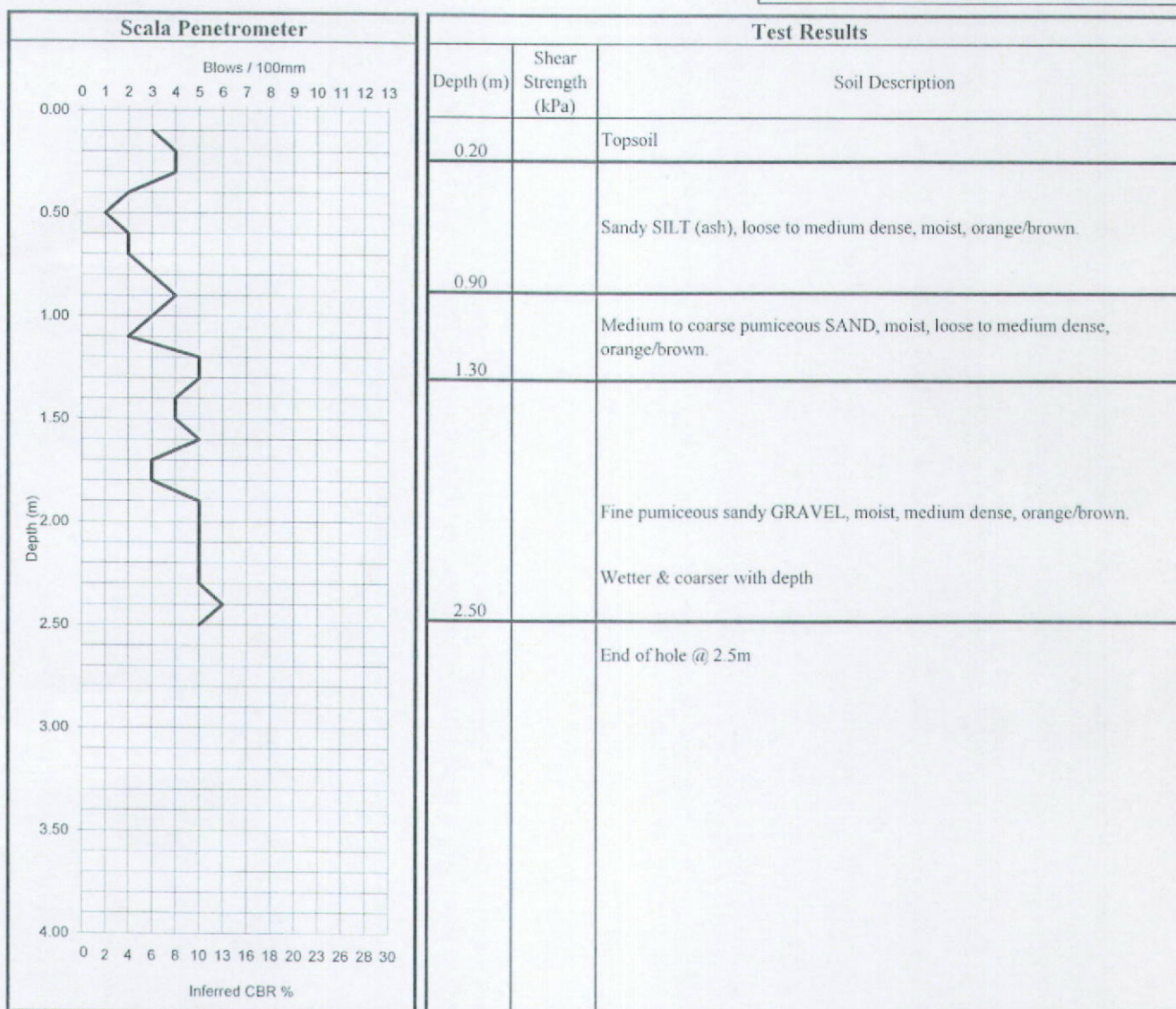
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AUGER / SCALA PENETROMETER TEST REPORT



Project : House Site, Investigation
 Location : Lot 7, Hamon Place, Rotorua
 Client : Smith and Geddes Trust
 Contractor : Unknown
 Test number : 3
 Shear vane number : NA
 Shear vane correction : NA
 Water level (m): Nil
 Reduced level (m): Approx 1.8m above street level

Project No : 289868
 Lab Ref No : 12/201
 Client Ref No :



Test Methods

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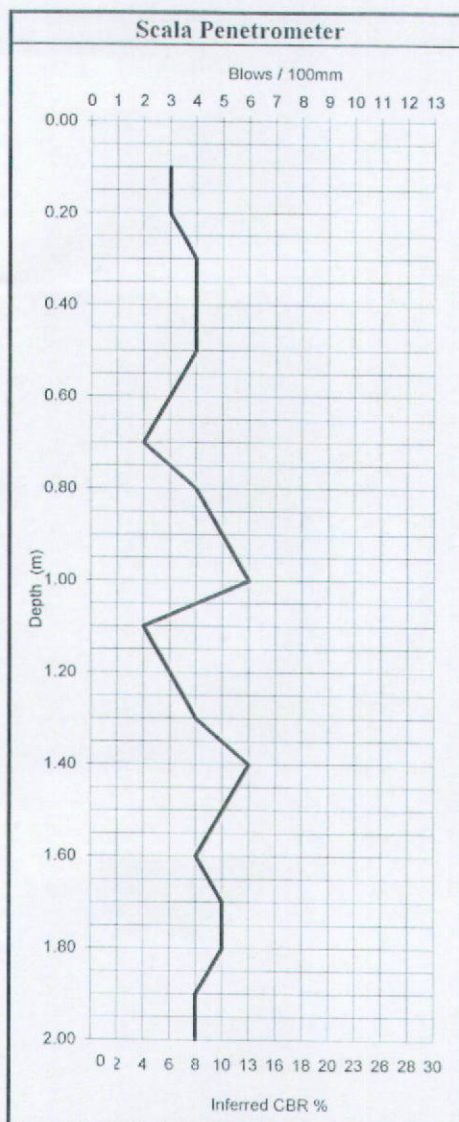
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OPUS

Project No :	289868
Lab Ref No :	12/201
Client Ref No :	



Test Results		
Depth (m)	Shear Strength (kPa)	Soil Description
0.25		Organic Topsoil.
0.90		Mixed topsoil & silty fine SAND, medium dense, moist, brown.
1.10		Medium to coarse pumice SAND, medium dense, moist, light brown.
1.30		Medium to coarse pumiceous SILT & SAND, medium dense, moist to wet, orange/brown.
1.50		Medium to coarse pumice SAND, medium dense, moist, light brown.
2.00		Fine to medium pumiceous GRAVEL, moist to wet, medium dense, light orange/brown.
		End of hole @ 2m.

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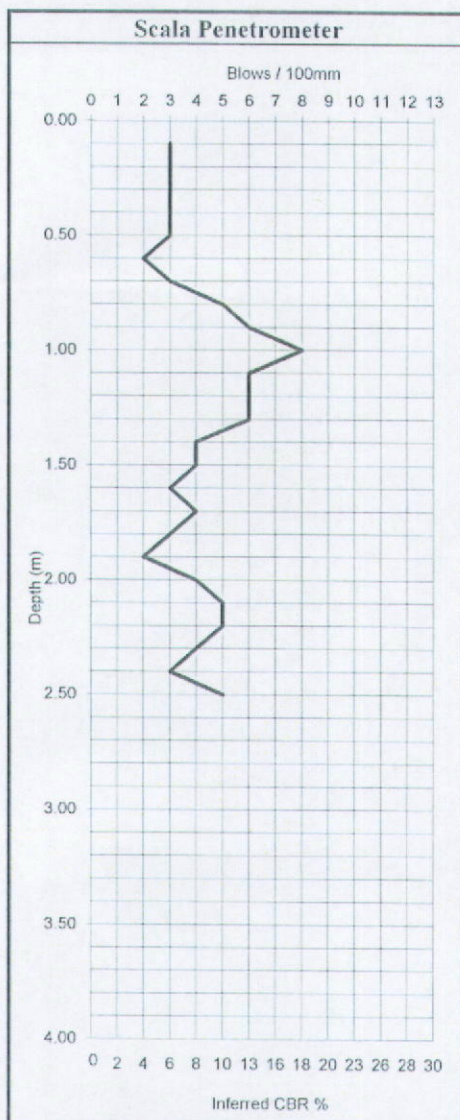
Designation : *Laboratory Manager*
Date : *17/05/12*

AUGER / SCALA PENETROMETER TEST REPORT



Project : House Site, Investigation
 Location : Lot 7, Hamon Place, Rotorua
 Client : Smith and Geddes Trust
 Contractor : Unknown
 Test number : 5
 Shear vane number : NA
 Shear vane correction : NA
 Water level (m): Nil
 Reduced level (m): Approx 1.5m above street level

Project No : 289868
 Lab Ref No : 12/201
 Client Ref No :



Test Results		
Depth (m)	Shear Strength (kPa)	
0.35		Organic Topsoil.
0.70		Fine SAND, minor silt, moist, medium dense to loose, light brown.
1.00		Medium to coarse pumiceous SAND, medium dense, moist, light brown.
2.00		Fine pumiceous GRAVEL, medium dense, moist, light brown. Wetter & coarser with depth.
		End of hole @ 2m

Test Methods

Determination of Penetration Resistance of a Soil, NZS 4402 : 1988, Test 6.5.2
 Shear Strength using a Hand Held Shear Vane: NZ Geotechnical Soc Inc 8/2001
 Inferred CBR values taken from Austroads Pavement Design Manual 2004

Field Descriptions of Soils and Rocks by
 NZ Geotechnical Society Dec 2005
 Inferred CBR values are not IANZ accredited

Date tested : 16/05/12
 Date reported : 17/05/12

This report may only be reproduced in full

Approved

Designation : *Laboratory Manager*
 Date : 17/05/12

PF-LAB-061 (18/12/2010)

Page 7 of 7

Opus International Consultants Ltd
 Rotorua Laboratory
 Quality Management Systems Certified to ISO 9001

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the affordable way to a quality home

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SCHEDULE OF MATERIALS AND WORKS

18th April 2012

CLIENT: Smith & Geddes Trust

JOB NUMBER: MS00047

SITE ADDRESS: 15 Hamon Place

LOT NUMBER: 7

DP NUMBER: 399109

PLAN NAME: Murraystone

All prices shown in this document are inclusive of Goods and Services Tax (GST).

Our prices are including GST, includes items as detailed in this Specification.

PRELIMINARY AND GENERAL

- This schedule of materials and works shall take first precedence, the plans shall take second precedence
- All work is to be completed in accordance with best industry practice, including the NZ Building Code, and the relevant acceptable solutions. Additional costs incurred as a result of changes in the building code or conditions over the contract period will be charged to the owner.
- It is the client's responsibility to highlight all covenants that relate to the site
- Registered Master Builders 10 year guarantee included
- Includes full working drawings
- Maintenance period shall be 365 days from the handover date
- Builders 'All Risk' & Liability insurance cover included until the handover date
- Milestone Homes have an active Health & Safety Policy in place and is committed to this policy
- If owners require any extra work, the labour rate will be charged out at **\$xx.xx** per hour
- House professionally cleaned internally, windows cleaned internally and externally to the completed home. Grounds to be left free from any building debris
- Removal of all rubbish (skip on site)
- Allowance has been made for the forming of a driveway
- No responsibility for any damages incurred to the footpath, kerb or crossing. Any rectification work required will be on charged as a variation
- Includes a Provisional Sum of \$4,025.00 for the building consent fees, BRANZ levy and the department of building housing levy
- Development contribution levy & service connection fees by **Rotorua** Council are not included
- Drainage and Stormwater – quoted

For Milestone Homes:
Initial

For the Customer:
Initial

1. OWNERS CARE INSURANCE

If you are planning to undertake or subcontract any of the works yourself prior to completion, then you will need to take out personal Public Liability Insurance. A cover note of this insurance will need to be provided to Milestone Homes prior to commencement of any work. This will need to cover any accidental loss or damage to the home by yourself or your subcontractor whilst it is under construction.

2. EXCAVATION

Provisional Sum

- Excavation is based on the clients Lot 7
- Construction provides for the following:
 - Our contract provides for the excavation of topsoil and vegetation to a depth of 150mm and a 800mm cut to the rear of the section, and foundation excavation to solid bearing to 300mm below existing ground level
 - If these dimensions are exceeded to obtain solid bearing this would become an extra to the contract price
 - We have allowed an additional 20% of hardfill for compaction
 - Total hardfill allowed **xxm³**
 - Excavated topsoil is to be left on site
- A Provisional Sum of **\$4,025.00** has been provided for all site works, complete digger hours, roller hire and hardfill. The amount prescribed is an estimate only and should not be interpreted as a quoted sum or an undertaking by Milestone Homes to include complete excavation within the contract price.

3. FOUNDATIONS and FLOOR SLAB

- All foundation work based on a flat site
- All the perimeter foundations will be left fairface finish, not plastered or painted
- Engineer designed floor slab as per plans
- Concrete quantity has been calculated on the above measurements – if these change on site then any additional concrete will be charged as an extra to the contract
- Total concrete allowed in the foundations **xxm³**
- Floor Slab will be 100mm thick concrete reinforced with 665 mesh to total floor area
- Engineers costs, additional labour, concrete etc necessary through the discovery of poor bearing ground during the excavation will be charged as extra to the contract
- All costs incurred for rock breaking or removal of will be charged as an extra to the contract

4. TIMBER FRAMING

- All structural framing shall be SG8 90x45 H1.2 treated timber with H1.2 treated bottom plates
- Roof trusses shall be SG8 H1.2 treated timber to engineers specifications and the NZ building code
- As per general specifications and requirements of NZ Building Code and NZS 3604
- All walls to have a minimum of two rows of nogs in general

EXTERIOR MATERIALS AND FINISHES

5. ROOFING TILE

- Shall be Gerard Satin Tuffcoat roofing tiles installed by a Gerard Certified Roofer
- Trim options to be angle
- Gerard roofing comes complete with 25yr guarantee

6. FASCIA AND GUTTER

- Shall be Klass Coloursteel gutter system with matching barge installed by a specialist contractor
- Downpipes shall be 80mm PVC round profile unpainted

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7. EXTERIOR CLADDING

- Standard 70mm Monier Clay brick from the Foundation range
- Mortar colour to be Grey
- Please note if a coloured mortar is chosen, then this would incur an extra charge
- Complete with brick sills to all windows and doors
- Pallside Traditional Weatherboards to areas shown on the plan

8. GABLES

- Pallside Traditional Weatherboards
- Shall include brickwork to the gables as per the elevations.

9. SOFFITS

- Shall be lined horizontally with James Hardie 'Silkline' complete with PVC jointers

10. ALUMINIUM JOINERY

- All aluminium window joinery shall be by APL
- Aluminium joinery installed to soffit
- 26 colour range
- All joinery double glazed (waiting for quote)
- Powder-coated aluminium windows and doors as per plan
- Obscure glazing to bathroom, ensuite and WC only, with clear glazing to all other openings
- Entrance door to be Milestone Feature Entrance door with glazed pane
- Window hardware to be Miro and black
- All windows include condensation channels.
- Window reveals to be 19mm thick pine liners paint grade
- All window reveals to be finished with 60mm achitraves
- Keys to be keyed alike, so one key fits all locks
- Support Bars to all floor level openings and other openings over 1500mm

11. GARAGE DOOR – Thermo Tech insulated

- Garador sectional garage door with opener and two remotes – please note there is a limited colour selection
- Garage door reveals to be paint grade
- Garage door to include a jamb edge seal system

INTERIOR MATERIALS AND FINISHES

12. THERMAL INSULATION

- Pink Batts to ceilings shall be as per New Zealand Building Code
- Pink Batts to all outer walls shall be as per New Zealand Building Code
- Insulation shall be fitted to the external walls of the garage
- Insulation shall be fitted to the ceiling of the garage

13. INTERIOR LININGS

- Ceilings shall be lined with 10mm ultraline GIB, direct fixed to metal ceiling battens @ 450crs
- Walls shall be lined horizontally with 10mm GIB
- Aqualine GIB to bathroom and ensuite walls and ceiling
- All walls and ceilings to be stopped to a level 4 finish as per Winstones "Levels of GIB board finish"

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Initial

14. SCOTIA

- Shall be 55mm GIB Cove fixed and stopped to all rooms
- 40mm MDF Single Bevel Scotia to cupboards and wardrobes.

15. SKIRTINGS & ARCHITRAVES

- Shall be 60mm x 12mm bullnose MDF skirting
- Shall be 60mm x 10mm bullnose pine skirting to bathroom, ensuite and laundry

16. REBATED REVEALS

- Shall be 25mm Slimline door jambs to all interior doors excluding wet areas
- Shall be 25mm Slimline door jambs to bathroom & ensuite doors
- All aluminium joinery to have 19mm pine, grooved reveals

17. INTERNAL DOORS

- Shall be hollow core MDF flush panel paint grade doors
- Doors dimensioned as per the floor plan and 1980mm high

18. DOOR HARDWARE

- All the interior door handles shall be satin chrome Rubens lever handles with matching hinges
- Privacy locks will be fitted to the WC, ensuite and bathroom doors only
- Lockset to garage connecting door
- Skirting mounted Schlage 434 door stops to all doors
- WB Door magnet 25x7mm 1180 to all cupboards and wardrobes

19. ROOF ACCESS

- Shall be via 1300 x 600 attic stairs access opening in the garage ceiling
- Opening shall be trimmed with skirting

20. WARDROBES

- Dimensioned as per plan
- All wardrobes fitted with ventilated shelving system – white / silver
- Master Bedroom wardrobe to have half hang and full hang
- Walk-in-Wardrobe to have 2 banks of shelves, half hang and full hang
- All other bedrooms to have a shelf with integrated hanging rail

21. CUPBOARDS

- Dimensioned as per plan
- All cupboards fitted with ventilated shelving system – white / silver
- Hot Water Cupboard to have bank of 4 shelves
- Hall cupboard to have bank of 4 shelves

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Initial

22. KITCHEN

- Dimensioned as per plan - **Kitchen Plan 7**
- Melamine pre-finished carcass.
- Melamine doors with 2mm PVC edging
- Pre-finished toe spaces to match.
- High Pressure Laminate bench tops, 38mm thick with a pencil edge
- Stainless steel insert 1 ½ bowl and drainer tray - top mounted
- Includes bank of four drawers mounted on purpose made metal runners with one cutlery insert
- Units provide for installation of under-bench wall oven, cooktop and dishwasher
- Stainless steel sink does provide for installation of waste disposal
- 900mm wide x 750mm high cooktop/hob 6mm tiled splash back

23. ELECTRICAL

Hot points (all RCD protected) - PDL 600 series with white face plates

Single power points	(quantity is plan dependent)
Double power points	(quantity is plan dependent)

Lights

Superlux CL2003-2	(quantity is plan dependent)
Superlux CL2003-3	(quantity is plan dependent)
1 Superlux SGX53-4P-CH	(Pendant above kitchen bench/island)
Standard Batten Holder	(1 per car space garage, 1 x laundry if applicable)
Two way switching circuits	(quantity is plan dependent)

Appliance points

1	Fridge point	
1	Dishwasher point	
1	Microwave point	
1	Rangehood point	
1	Waste disposal point	
1	Built in oven connection	
1	Electric hob connection	
2	2 Lamp Heat/Fan/Light Units to bathroom & ensuite	
2	T.V. points	(quantity is plan dependent)
2	Phone points	(quantity is plan dependent)

Underground power supply

This contract includes the supply and installation of underground power and telephone cable any additional cable required will be additional to this contract.

24. APPLIANCES

Fisher & Paykel – Stainless Steel finish.

▪ Ceramic Cook top	CE604CX2
▪ Under bench oven	OB60SCCX2
▪ 900mm Rangehood	HC90PCIX1
▪ Dishwasher	DW60CRX2
▪ Elba Waste Disposal	GD50S1

Note: Allowance has been made for the Rangehood to be vented to the exterior through the soffit/ceiling

25. PLUMBING

- Shall include the complete internal plumbing of hot & cold water via Fusiotherm pipe work
- Rheem Hot water cylinder to be 250 litre high pressure and located in the hall way cupboard, MP2 x 3KW
- Allowance has been made for 3 external hose taps
- Aquatite wet wall caddy's to be used behind all mixer wall penetrations in wet areas

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26. BATHROOM, ENSUITE & LAUNDRY

All fittings to be white with chrome trim

Tiles 200 x 200 White 2 rows splashback to bath

Mirror cabinets to be surface mounted not recessed and to be centred to vanities

Ensuite

- Shower Clearlite Millennium **1000 x 1000** two sided unit complete with a moulded wall liner incl. soap recess and foot rest
- Vanity Clearlite Cashmere - Vitreous China Wall Hung with integrated overflow
- WC Ideal Standard Heron - Vitreous China

Bathroom

- Shower Clearlite Millennium **1000 x 1000** two sided unit complete with a moulded wall liner incl. soap recess and foot rest
- Vanity Clearlite Cashmere Vitreous China Top - Wall Hung with integrated overflow
- Bath Clearlite Pacific (non spa)

Toilet

- WC Ideal Standard Heron - Vitreous China
- Basin Clearlite WB22 - white

Laundry

- Tub Robinhood Supertub ST3101

Accessories

- Heirloom Turelle toilet-roll holder to all WC's
- Heirloom Turelle CP610 towel rails to bathroom and ensuite
- Heirloom Turell towel stirrups to WC

Miscellaneous

- Showers installed by authorised Clearlite installer
- Shower wastes to be easy clean – chrome
- Extra floor waste in bathroom floor (position TBC)

27. TAPWARE

All tapware to be Robertson Agencies single lever chrome

- Mixers shall be Robertson Agencies Seva
- Kitchen mixer shall be Robertson Agencies Solo Minis
- Bath spout shall be a wall mount Alpha
- Slide tracks shall be an Alpha plus 3 function

Note: Bath spout & mixer located on wall beside bath

28. BATHROOM & ENSUITE

- Clearlite Mahia Mirror cabinets 750

29. HEATING

- Allowance has been made for a heat pump in the living area

30. DRAINAGE

- Quoted works related to Sewage and Stormwater disposal from new dwelling

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Initial

31. DECORATING

- Resene paint system to the complete home
- Interior walls to be washable 3 coat system
- All interior wall and ceiling colours to be from a white base
- Satin enamel to bathroom & ensuite walls and ceiling
- Enamel to all interior doors, skirtings, window & door reveals
- Includes interior painting of the garage
- Exterior painting shall include the garage door jambs
- Downpipes shall not be painted
- Ceilings & Scotia - Resene....
- Walls & Skirtings & Architraves- Resene....
- Internal Doors & Reveals - Resene....
- Garage Door Jamb - Resene....

32. CARPET

- Heavy Duty Wool Blend – Newbury Court Epidote Knightsbridge – **Specify Colour**
- Installed with 11mm eco premium 105kg underlay
- This contract allows for carpet to be laid to the dining, family, lounge, bedrooms 1, 2, 3 & 4, hallway and all wardrobes & cupboards & office.

33. VINYL FLOOR

- This contract allows for vinyl Polyflor –Beige Slate 2318 to be laid to the kitchen, bathroom, w.c, ensuite, entry and laundry including cupboard, as per plans
- All vinyl to be from the complete vinyl range at Flooring Xtra / Polyflor Camaro Domestic 2318 Beige Slate
- All vinyl to be flat laid, no coving or feature strip

34. TILING

- 1 row of 200 x 200 White tiles above Vanities
- 200 x 200 White tiles to bench up stand behind hob to the underside of Rangehood and full width of bench right across to range height.

Note: Masterbuild guarantee does not cover tiling work

35. FENCING AND LANDSCAPING

- No allowance has been made for Fencing
- No allowance has been made for Landscaping

36. DRIVEWAYS, PATHS, PATIOS & VEHICLE CROSSINGS

Provisional Sum **\$5,325 incl GST**

- Allowance has been made for exterior concrete works

37. WARRANTIES

- To ensure that all guarantees and warranties for the product included in this project remain valid, please keep up with the recommended maintenance programme

38. MAINTENANCE

- 90 days after the handover date, we will make contact to discuss any items which may need attending to under our remedial defects policy
- Prior to this visit please make note of any maintenance that may need attending
- These items will be addressed within 30 days of this visit
- For any urgent matters please contact us directly
- It is your responsibility to bring to our attention any further maintenance issues during the remainder of the maintenance period (a further 275 days)

For Milestone Homes:
Initial

For the Customer:
Initial

39. OUR CONTRACT EXCLUDES THE FOLLOWING:

- Masterbuild guarantee does not cover for cavity sliders and tiling.
- Council Contribution Development Levies & Service Connection Fees
- Additional foundation work found necessary through sub-standard soil conditions
- Additional underfloor excavation and hardfill found necessary through sub-standard soil conditions
- Structural or Geotechnical Engineers
- Valuation fees
- Surveyor's fees for lost boundary peg locations
- Window dressings / curtains
- Paving, fencing & landscaping
- Letterbox, clothesline or television aerial

SUMMARY OF P SUMS INCLUDED IN THIS CONTRACT

Provisional sums are amounts included in the contract for a defined part of the work where, at the time of entering into the contract, the exact price cannot be confirmed so an estimate has been prescribed.

e.g.	
Building Consent	\$4,025 incl GST
Excavation	\$4,025 incl GST
Concrete driveway, patio etc.	\$5,325 incl GST

NB: - Confirmation of Plans:

- Final plans need to be checked carefully for siting, as with the Building Act alterations cannot be made after the submission of the documents to the council.
- If an amendment was to be made, no further work at that stage could proceed until it has been approved by the Council.
- This would effect construction time and possession dates.
- Clients will incur a fee from not only the Council but Milestone Homes for this amendment

Client Approval of Schedule of Materials & Works:

I have been shown through the Schedule of Works line by line with a Milestone Homes, Home Consultant and understand all the products outlined and written in the Schedule. Any former discussions on other products etc before this contract and schedule do not apply as this schedule of works takes precedence over those conversations. I the client understand that this is the final acceptance on products in my home other than any variations undertaken after this contract and schedule being signed off.

Signed by Client: _____ Date: _____

Witnessed by Milestone Homes: _____

For Milestone Homes:
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For the Customer:
Initial

GERARD KLOSS FASCIA - EXTERNAL SYSTEM SET OUT DETAILS

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The bottom purlin or batten must be put on after the fascia has been installed, hard up against the back of the fascia.

The bottom batten must always be installed; under no circumstances should concrete tiles be supported by the back edge of the fascia.

. . 69386

Soffit Bearers

With the Gerard Klass Fascia-External System, a fascia bracket is nailed onto the rafter and the fascia clipped onto this. Gutter brackets are then fixed onto the fascia and the gutter hung off these brackets. When completed it is an attractive functional system that will give you years of service.

Soffit linings up to 6mm thick will fit into the groove in the fascia. Klass External Fascia and Gutter are manufactured from high quality pre-painted coil coated Zinalume steel, to give long lasting performance.

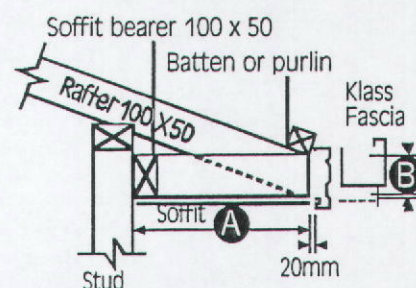
Fix soffit bearers to Left hand side of rafter (looking towards house). If they are being fitted prior to Gerard Klass Fascia-External System installation, check with the Gerard Certified Roofer for preferred set out. Fascia mounting brackets can be nailed or screwed to rafters and soffit bearers fitted later. These are regional differences only, there is no right or wrong option.

Eaves Detail - Steel Tile and Corrugated Steel (hip roof only)

Table 1

Soffit Width	450	600	750	900
Dimension A	440	590	740	890
Note:	10mm allowed for clearance. Dimension B remains 115mm.			

Figure 1

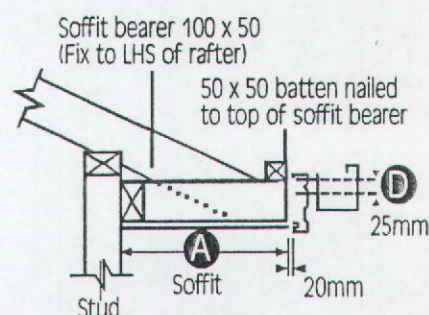


Eaves Detail - Concrete Tile

Table 2

Soffit Width	450	600
Dimension A	440	590
Note:	10mm allowed for clearance. Dimension D Top of soffit bearer to be 25mm above rafter for all roof pitches.	
Note:	If concrete tile roof pitch is less than 17.5°, please refer to Gerard Roofs Helpline before proceeding.	
Note:	Concrete tiles must be supported by a 50x50mm batten on top of the soffit bearer. They must not rest directly on the top of the fascia.	

Figure 2



Gable End Steel Tiles and

Thermal cut-off SD125F Downlights

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Barrier Not
Required

CA

Price List
p12

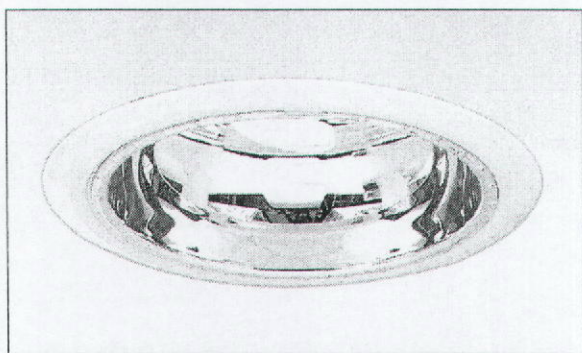
MAX.
15W

30
min

30
min

Lamp
Included

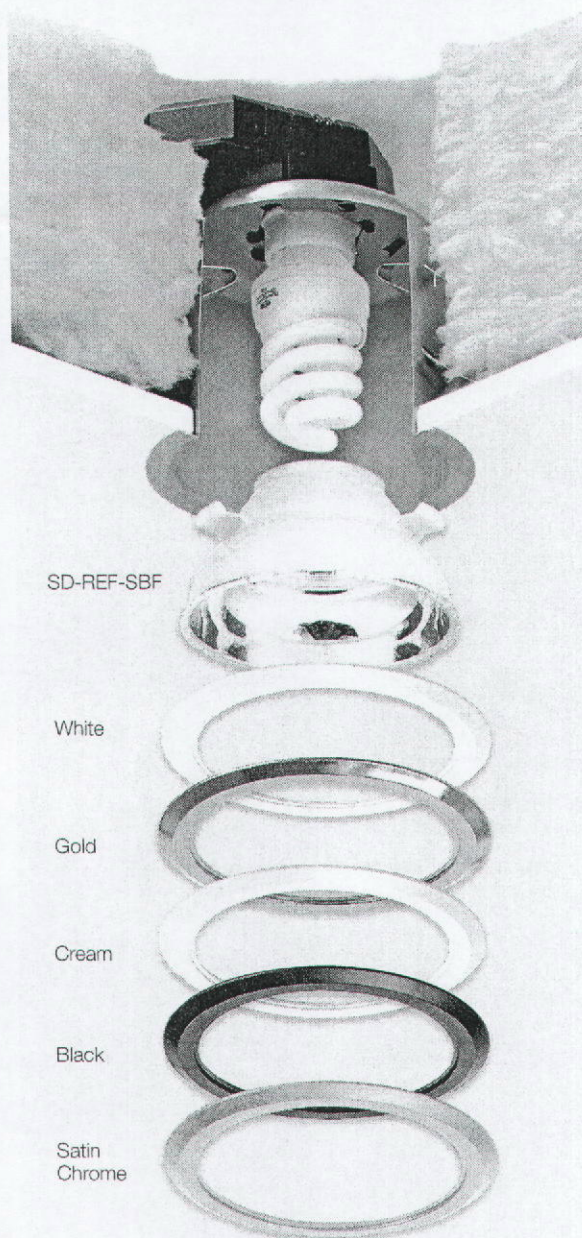
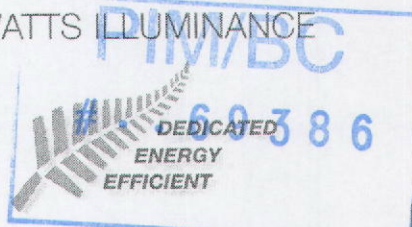
E27



THE ENERGY EFFICIENT DOWNLIGHT
ESPECIALLY DESIGNED FOR
SELF BALLASTED FLUORESCENT LAMPS
15 WATTS EFFICIENCY TAKEN TO AN
EXTREME 100WATTS ILLUMINANCE



SAFE CHANGE OVER



SD-REF-SBF

White

Gold

Cream

Black

Satin
Chrome

DEDICATED LAMP - GLS lamps will not fit into the SD125F.

DEDICATED QUALITY - of light same output as GLS lamps and warm colour rendering.

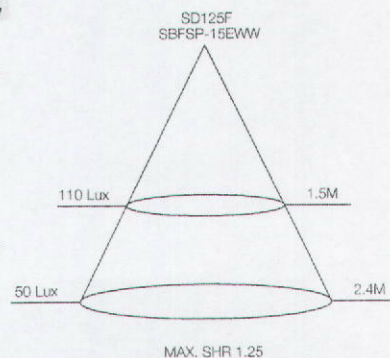
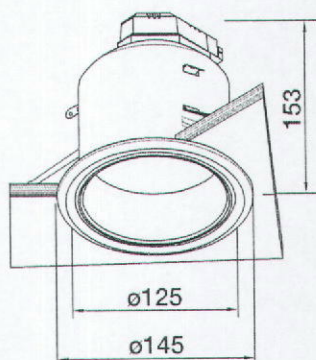
DEDICATED REFLECTOR - is designed to optimise self ballasted lamp characteristics.

DEDICATED AESTHETICS - attractive low profile ceiling trim as well as a choice of other trim accessories.

DEDICATED COMPLETE SOLUTION - eliminates heat transfer inefficiencies in your home.

- 15watt self ballasted lamp included
- Lamp can be safely replaced, just twist out reflector allowing easy and safe access to grasp the back of the lamp .
- Not dimmable
- Moisture Transfer Classification - Closed. Sealed construction preventing access of insects and drafts through ceilings.
- Thermal Insulation Classification - Abutted. Ceiling insulated (zero rated) may be abutted up against the SD125F for maximum insulation effectiveness.
- Fire rated to 30/30/30 minutes
- Lamp not exposed in ceiling cavity.
- Thermal cut-off and auto reset function for protection against misuse and overloading.
- Complies with AS/NZS60598 electrical safety standard.
- 3 mounting clips to ensure optimum snug fit to ceiling.
- (RW) STC sound transmission rating.
- Replacement lamp.

SBFSP-15EWW

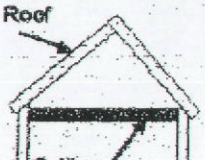


ALL SPECIFICATIONS SUBJECT TO CHANGE WITHOUT NOTICE

39

superlux
we engineer

TABLE 2
CROSS REFERENCE OF RECESSED LUMINAIRE CLASSES WITH CEILING TYPES

Luminaire Type			Ceiling Types														
			Skillion Roof			Ceiling Below Accessible Roof Space			Ceiling Within Floor - No Fire or Acoustic Separation			Ceiling Within Floor - Fire or Acoustic Separation Required			Suspended Ceiling		
																	
Symbol	Moisture Transfer	Insulation Clearance	Thermally Insulated			No Insulation			Thermally Insulated			No Insulation			Thermally Insulated		
			Utility	Habitable	Moist	Utility	Habitable	Moist	Utility	Habitable	Moist	Utility	Habitable	Moist	Utility	Habitable	Moist
QA	Open	Abutted	✓						✓								
OS	Open	100mm															
D*	Open	To spec															
RA	Restricted	Abutted	✓	✓		✓	✓		✓	✓		✓	✓		✓	✓	
RS	Restricted	100mm															
R*	Restricted	To spec															
CA	Closed	Abutted	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
CS	Closed	100mm															
C*	Closed	To spec															

* Denotes that the second classification letter is not relevant to any installation in uninsulated ceilings, and that any recessed luminaire with the appropriate first letter can be used.